

# **DESIGN REVIEW GUIDELINES**

**FOR THE**

**TOPEKA/EMPORIA**

**NORTH TOPEKA/10<sup>TH</sup> STREET**

**PARK PLACE/FAIRVIEW**

**AND**

**BITTING**

**HISTORIC DISTRICTS**

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**WICHITA, KANSAS**  
**1995**

Prepared by the

WICHITA/SEDGWICK COUNTY

METROPOLITAN AREA PLANNING DEPARTMENT

\* \* \*

**HISTORIC PRESERVATION OFFICE**

Jeff Tully, Historic Preservation Planner

## **ACKNOWLEDGEMENTS**

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## **ABOUT THE GUIDELINES**

The City of Wichita recognized its first historic district in 1977 with the establishment of the Topeka/Emporia Historic District. Then, in 1978, the City added two more historic districts: the Park Place/Fairview Historic District and the Bitting Historic District. In 1982, the Kansas State Historical Society recognized a small portion of the Topeka/Emporia district and established the City's only residential district listed on both the Register of Historic Kansas Places and the National Register of Historical Places – the North Topeka Avenue/Tenth Street Historic District. Through the first half of 1995, these four areas represent the City's only registered, residential historic districts.

The City of Wichita recognizes each district as special and unique places, to be protected as community resources. Although the histories of each district share much of the same past, each played an important role in the development of Wichita. Many of the “founding mothers and fathers” of early Wichita built residences in the area. Outstanding examples of Victorian architecture can be found in the districts. They are enjoyed by residents and visitors alike, and it is the intent of these guidelines to assure that they are protected for the present and preserved for the future.

The design guidelines contained in this book should be used when planning changes within any of the four districts. The guidelines will help to:

- Identify specific issues that may affect the integrity of a district.
- Identify key features of historic resources that should be respected when planning any repairs, alterations, or new construction.
- Define the criteria the City of Wichita's Historic Preservation Board will use to evaluate your proposed changes.

The guidelines are based on visual characteristics of the districts, both as they exist today, and when first developed. The scale of the buildings, their materials and their site relationships are examples of the specific characteristics that were analyzed and from which the design guidelines were developed. These characteristics were identified through public meetings and reflect community values with regard to the visual character of the districts. The following guidelines were written to encourage the retention of the visual and historic integrity of Wichita's four residential historic districts, while encouraging creative design solutions. The guidelines do not dictate style or specific design motifs, but instead, suggest a choice of approaches for design compatibility that are intended to help homeowners solve various remodeling problems.

# ***Q and A***

**Q:** *What is an historic district?*

**A:** An historic district is a specific area of a city or town that has been identified and recognized for its historic and architectural significance.

**Q:** *How many does Wichita have?*

**A:** Currently, there are four residential historic districts, and three commercial historic districts.

**Q:** *How does being listed in a Wichita district protect historic neighborhoods?*

**A:** A locally designated historic district can be a tool in fighting many of the negative economic trends that occur in the older sections of a community. There is a connection between the effectiveness of community awareness programs, the creation of effective municipal rehabilitation programs, and improved resident and investor confidence – all factors that can have a positive effect on property values. Further, once a district is designated, all demolitions occurring within its boundaries are reviewed. For historic properties that contribute to the significance of the historic district, demolition can be delayed while the City's Historic Preservation Office seeks alternatives to demolition.

**Q:** *What are “Contributing” and “Non-Contributing” structures in historic districts?*

**A:** “Contributing” elements in a historic district include buildings, sites, structures or objects that significantly add to the architectural quality or historic association of a district. By possessing high levels of integrity, these buildings, sites, structures or objects add to the historic character of a district. “Non-Contributing” elements do not add to the architectural quality or historic association of a district. Due to alterations, disturbances, additions, or other changes, non-contributing elements no longer possess integrity, nor reflect significant historic character.

**Q:** *What do Design Review Guidelines do?*

**A:** In general, design review guidelines help preserve historic districts as records of our heritage. They help to protect property values by managing changes, thereby reinforcing the assets of a district. The value of individual historic structures, and groups of historic buildings, will thus be strengthened. Design review guidelines provide a fair and consistent review of proposed work in historic districts and provide uniform standards by which all projects are evaluated.

**Q:** *What kind of work is subject to the review process?*

**A:** Any exterior work which would ordinarily require a building permit, such as remodeling, new construction, alterations, demolitions, or relocation of a building or structure to an historic district is reviewed by the City's Historic Preservation Board, before a permit is issued.

**Q:** *Who does the reviewing?*

**A:** The City's Historic Preservation Board is a seven-member advisory board to the Wichita City Council, appointed by Council members. Members of the board include historians, architects, real estate agents, and preservationists.

**Q:** *How will I know what type of work is acceptable or appropriate?*

**A:** The Historic Preservation Board has developed the general guidelines contained in this publication for review of exterior work. These guidelines are developed to provide information about the historic and architectural features of the districts that are worthy of preservation. Staff from the Historic Preservation Office also work individually with property owners as they plan rehabilitative projects to provide information and explanatory materials that will assist them in preserving the historic character of their property.

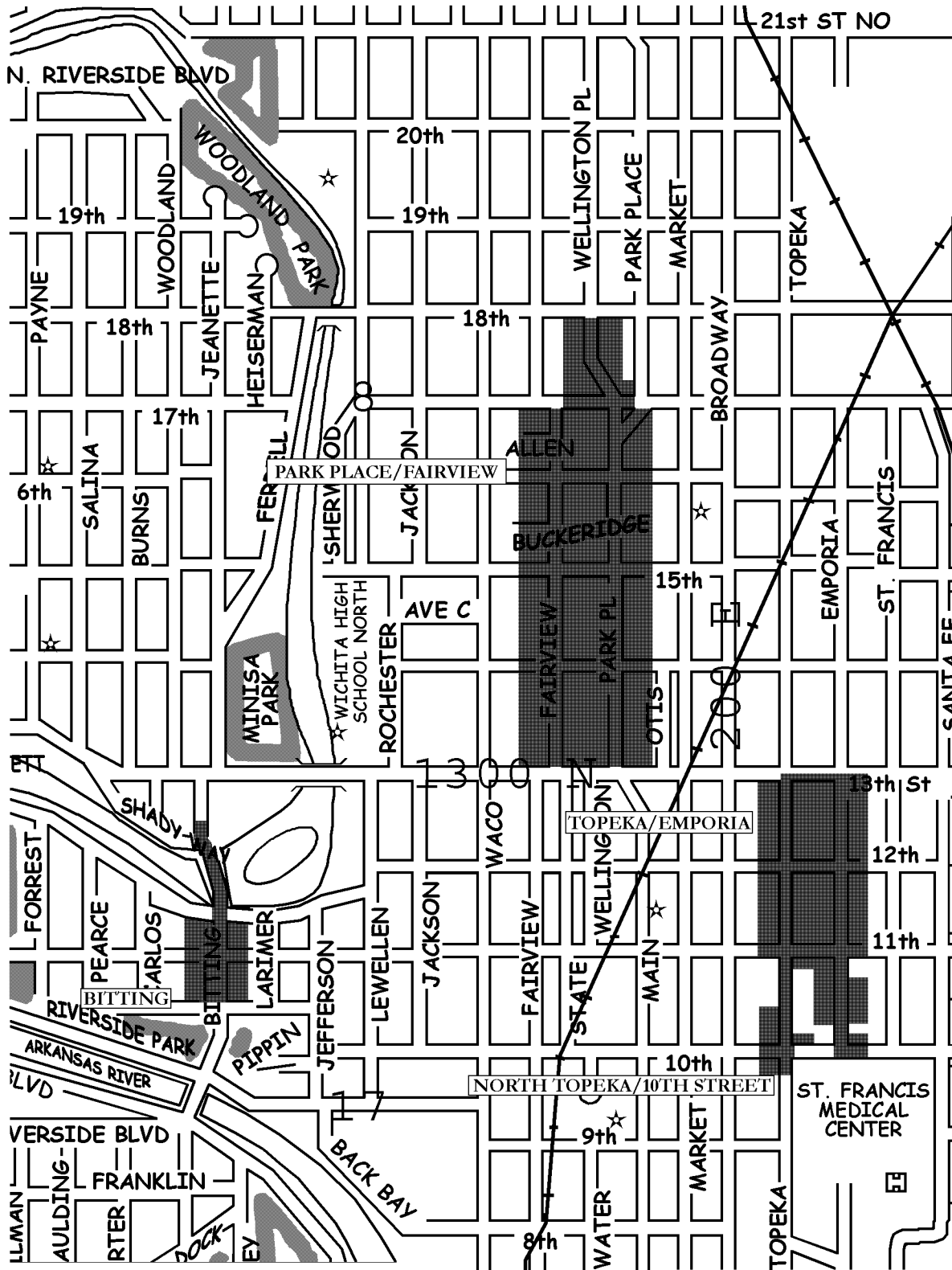
**Q:** *Are there any benefits in having a property located in a historic district?*

**A:** Besides taking pride in owning a recognized historic property, your project may qualify for a low interest loan through the City's Revolving Loan Program for Historic Properties.

**Q:** *What should I think about when I consider changes to my home?*

**A:** When considering changes to your historic structure, try to retain as much of the original materials, detail and design as possible. Avoid the addition of modern elements, which would diminish the features that define the historic character of the structure. Avoid removing or altering any historic material or significant architectural features. Rehabilitation work should not destroy the distinguishing character of the property or its environment.

# HISTORIC RESIDENTIAL DISTRICTS



## **HISTORY OF THE DISTRICTS**

The City of Wichita was incorporated in 1871, and between the years 1882 and 1887 the population increased from 5,779 to 31,760. During this period, Wichitans referred to their city as “the Eighth Wonder,” “the New Chicago,” and “the Peerless Princess of the Plains.”

The 3,078 people who lived in Wichita by 1873 had built homes of log or wood frames. Many of these homes were constructed within the commercial core of the city. During the 1880s, residential dwellings in the central core area of Douglas, Market, and Broadway (Lawrence) were destroyed, while new construction began on the outer fringes of the business district.

Because town development began on the eastern bank of the Arkansas River, most pre-1880 development remained east of the river, and west of the Chisholm Creek, located to the east of the City’s main commercial area. Therefore, most residential development expanded in an elongated north-south direction between the Arkansas River and the Chisholm Creek, with Douglas serving as the center.

From 1893 to 1897, the United States suffered one of its most severe economic depressions. In Wichita, real estate speculation and growth of the city peaked in 1887 and ended in 1889. Although the 1880s was the most famous boom decade in Wichita real estate, buildings erected locally from 1906 to 1920 represent the recovered prosperity that swept through the housing industry nationwide in the early part of the 20<sup>th</sup> century.

During the 1880s, Wichitans became more conscious of architectural styles and turned from strictly functional pioneer dwellings to Victorian dwellings, including Italianate, Greek Revival, Romanesque, Queen Anne, Shingle and Stick styles. By the late 1880s, wood remained the primary building material, although stone and brick were also used on residential construction. Locally, the Queen Anne, Romanesque, Stick, and Shingle dwellings were constructed in great numbers from 1885 to 1890. With the exception of the Craftsman movement, from about 1890 to 1930, no single architectural style dominated locally. Construction of the Craftsman style houses was greatest from 1905 to 1920. In more limited numbers, the Colonial Revival style influenced by northern and middle seaboard architecture remained popular until after WW I. As mentioned, the major single-family residential development started in the Midtown area during 1906 and was completed by the mid 1920s. Most of the larger homes in the historic districts were constructed prior to 1907.

During the 1940s, minimal traditional housing, including apartments and homes, were constructed on empty lots in the historic districts. Some of the newer housing was constructed as multi-family duplexes and four-plexes during the WW II era.

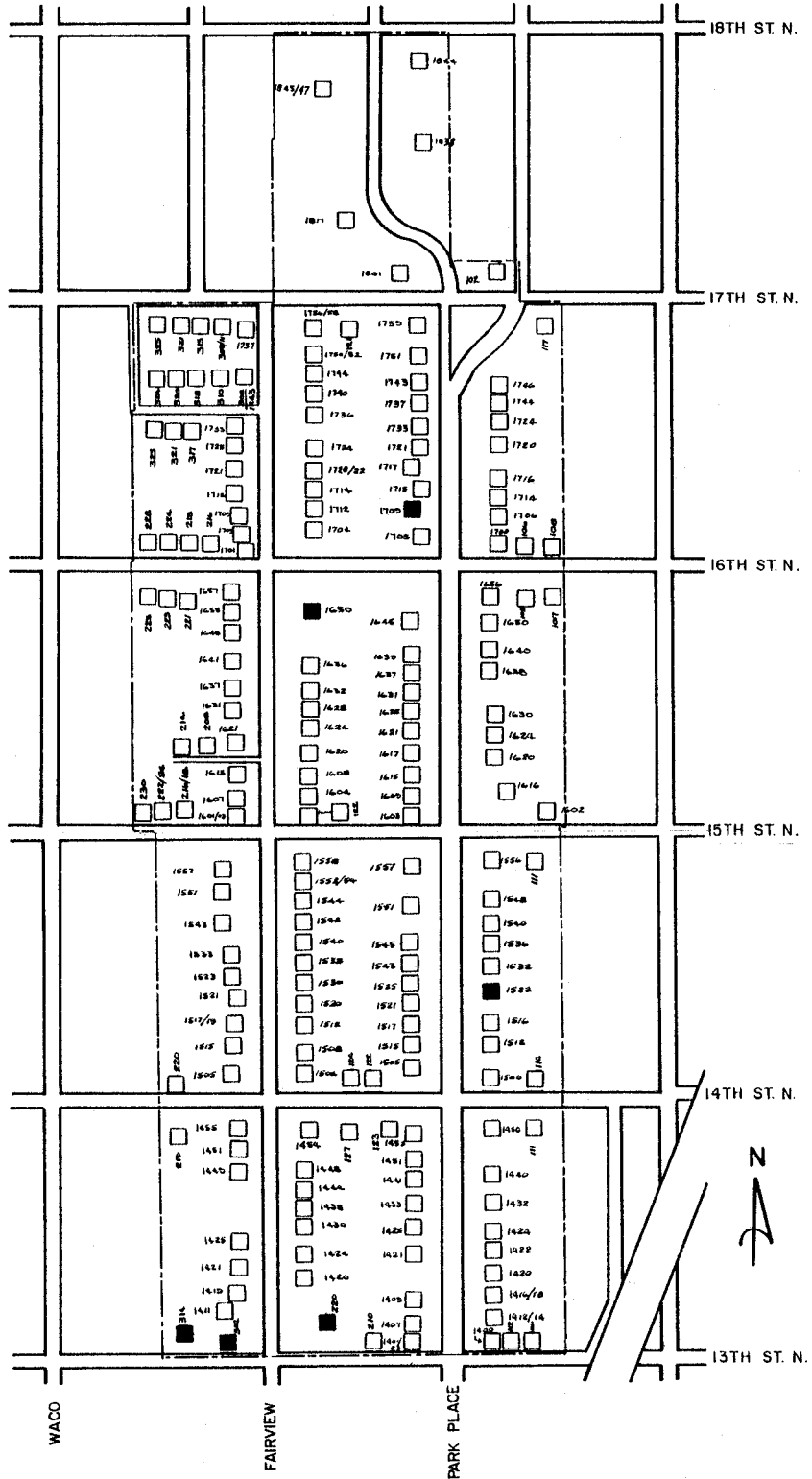
# PARK PLACE / FAIRVIEW LANDMARK DISTRICT

DISTRICT BOUNDARY

CONTRIBUTING ELEMENT

NON-CONTRIBUTING ELEMENT

STREET ADDRESS





The ordinance which created the Park Place/Fairview Historic District was adopted by the City of Wichita on October 3, 1978.

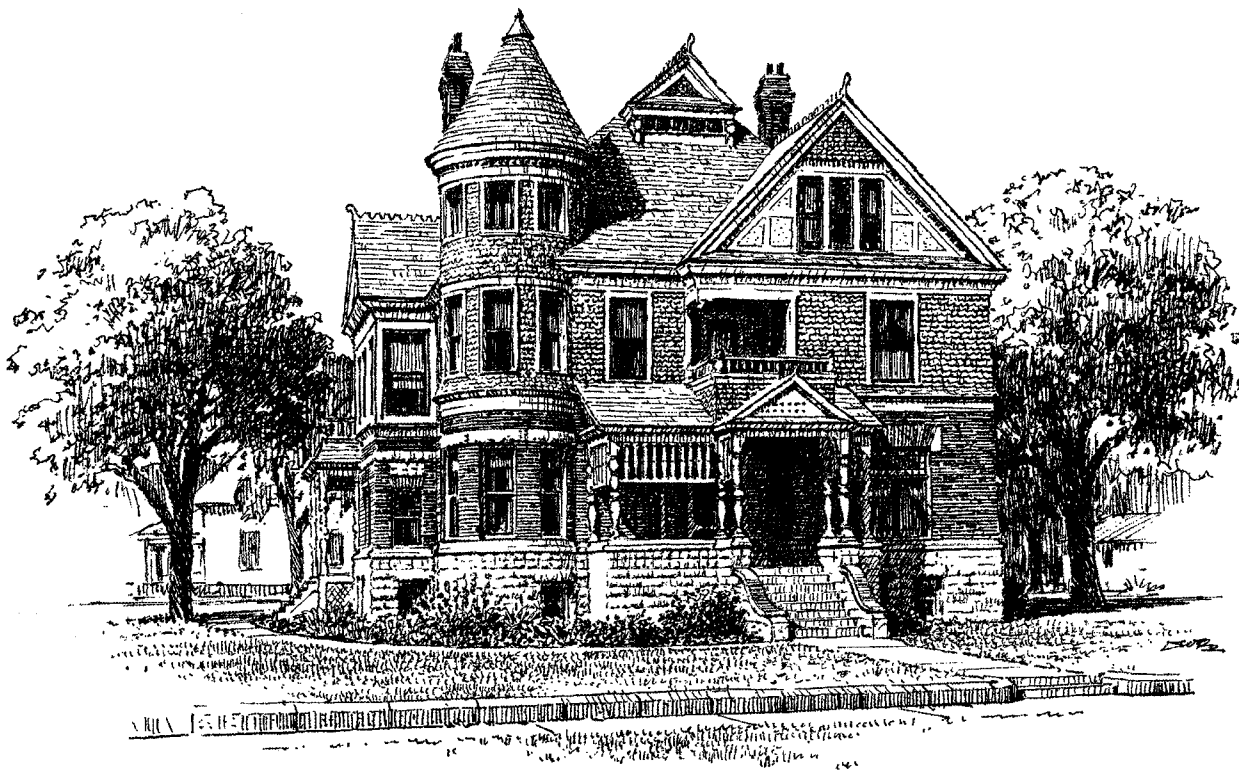
There are 190 contributing structures in the district, and six non-contributing, for a total of 196 structures. Structures built in the district represent three periods of architecture and construction: the boom period of the late 1880s; the Craftsman and Prairie periods through the 1920s, and the post-1940s Minimal Traditional period of construction. The district also contains many fine examples of Revival-style architecture, combined with a few examples of Eclectic architecture.

## **ARCHITECTURAL STYLES**


There are 13 contributing architectural styles found within the Park Place/Fairview Historic District:

<b><u>STYLE</u></b>	<b><u>#</u></b>
Queen Anne	29
Gothic Revival	2
Folk Victorian	2
National Folk	32
Neoclassical Revival	32
Craftsman and Bungalow	43
Colonial Revival	16
Dutch Colonial Revival	2
Tudor Revival	2
Prairie	2
Minimal Traditional	25
Ranch	1
Eclectic	2
<b>Total</b>	<b>190</b>

The Queen Anne, National Folk, Gothic and Neoclassical Revivals constitute more than 50 percent of the houses constructed in the district, while the Craftsman and Prairie homes amount to 24 percent. The Dutch, Colonial and Tudor Revivals constitute 11 percent. The post 1940s Minimal Traditional, including Ranch and Eclectic architecture amount to more than 14 percent.



1505 Fairview Built in 1889 by J.H. Aley

Produced by  oblinger-smith corporation in cooperation with the Wichita Urban Renewal Agency

# THE NORTH TOPEKA AVENUE- EMPORIA AVENUE HISTORIC DISTRICT

DISTRICT BOUNDARY



CONTRIBUTING ELEMENT

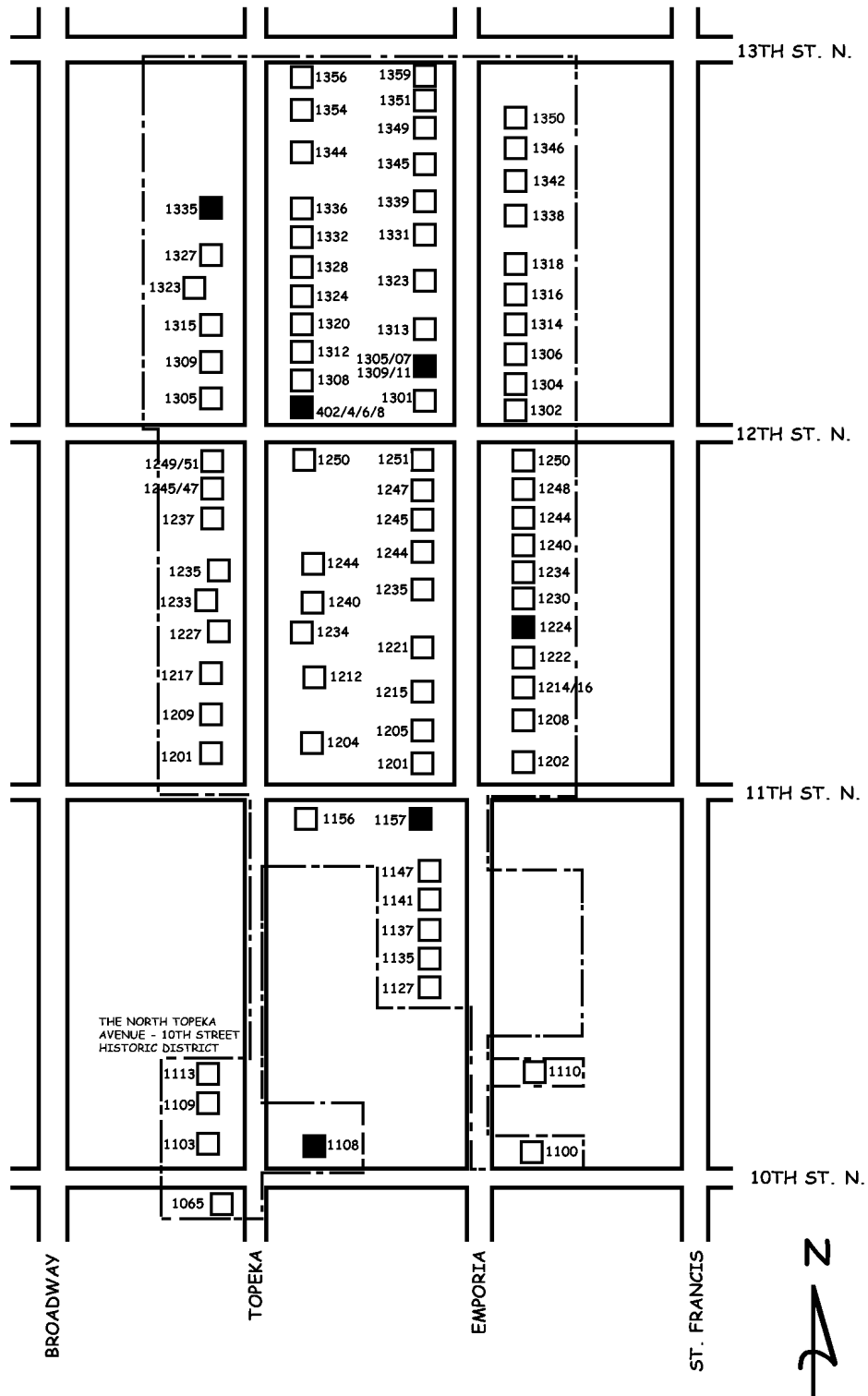


NON-CONTRIBUTING ELEMENT



STREET ADDRESS

111



The ordinance which created the Topeka/Emporia Historic District was adopted by the City of Wichita on September 13, 1977.

There are 76 combining structures in the district, and five non-contributing, for a total of 81 structures. Structures built in the district again represent three periods of architecture and construction: the boom period of the late 1880s; the Craftsman and Prairie periods through the 1920s; and the post-1940s Minimal Traditional period of construction. The district also contains many fine examples of Revival-style architecture, with one example of Mediterranean Revival architecture.

### **ARCHITECTURAL STYLES**


There are eight contributing architectural styles found within the Topeka/Emporia Historic District:

<b><u>STYLE</u></b>	<b><u>#</u></b>
Queen Anne	17
Gothic Revival	1
Folk Victorian	3
Neoclassical Revival	14
Craftsman & Bungalow	17
Colonial Revival	22
Tudor Revival	1
Mediterranean Revival	1
<b>Total</b>	<b>76</b>

The Queen Anne, Gothic, Folk Victorian, and Neoclassical Revival styles constitute 46 percent of the houses constructed in the district, while Craftsman homes amount to 22 percent. The Colonial, and Tudor, and Mediterranean Revivals constitute 32 percent.

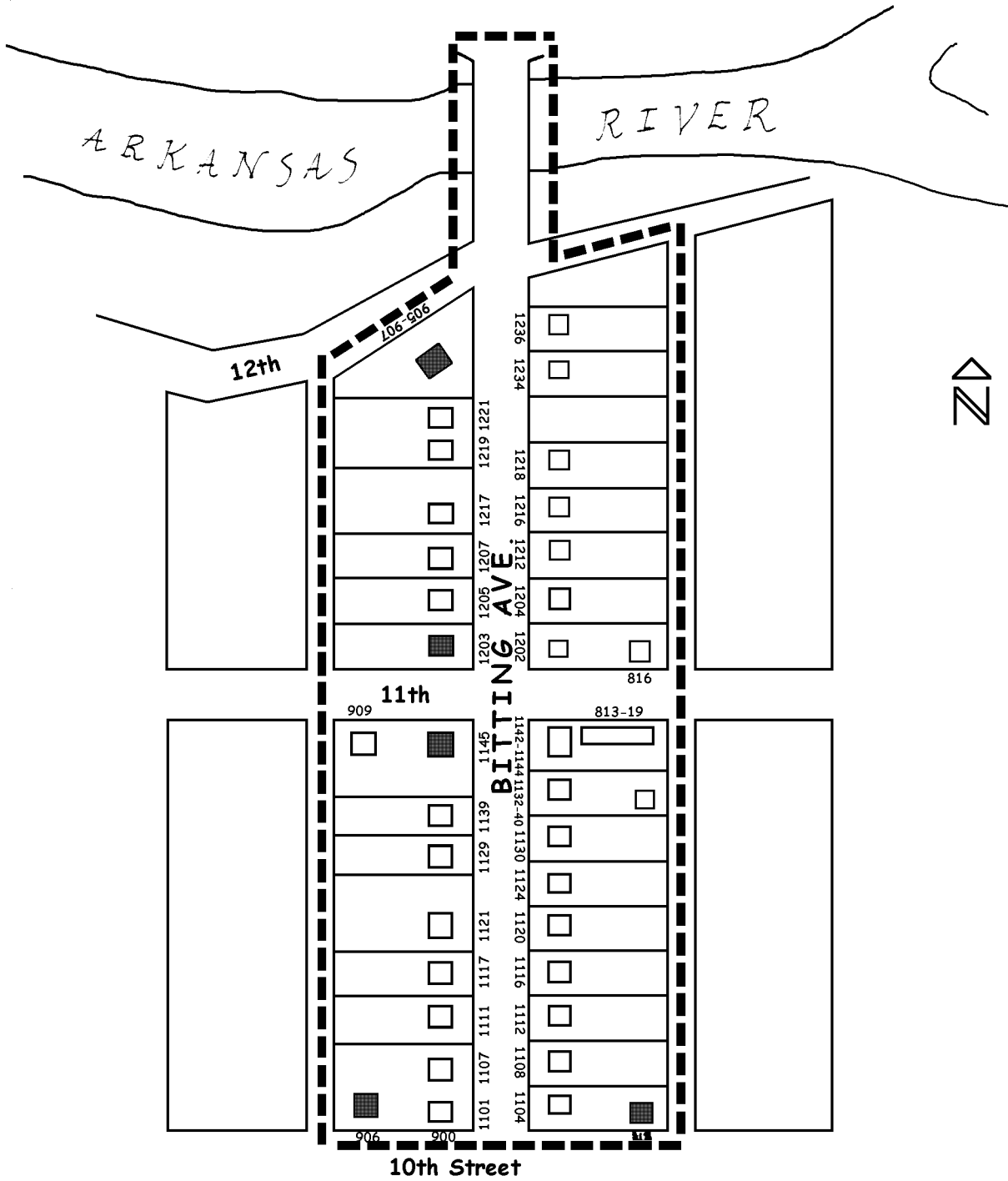


**1331 N. Emporia    Built in 1903 by William Schaetzel**

Produced by  **obliger-smith corporation** in cooperation with the Wichita Urban Renewal Agency

# BITTING DISTRICT

DISTRICT BOUNDARY      - - - - -  
 CONTRIBUTING ELEMENT      □  
 NON-CONTRIBUTING ELEMENT      ■  
 STREET ADDRESS      111



The ordinance which created the Bitting Historic District was adopted by the City of Wichita on October 3, 1978.

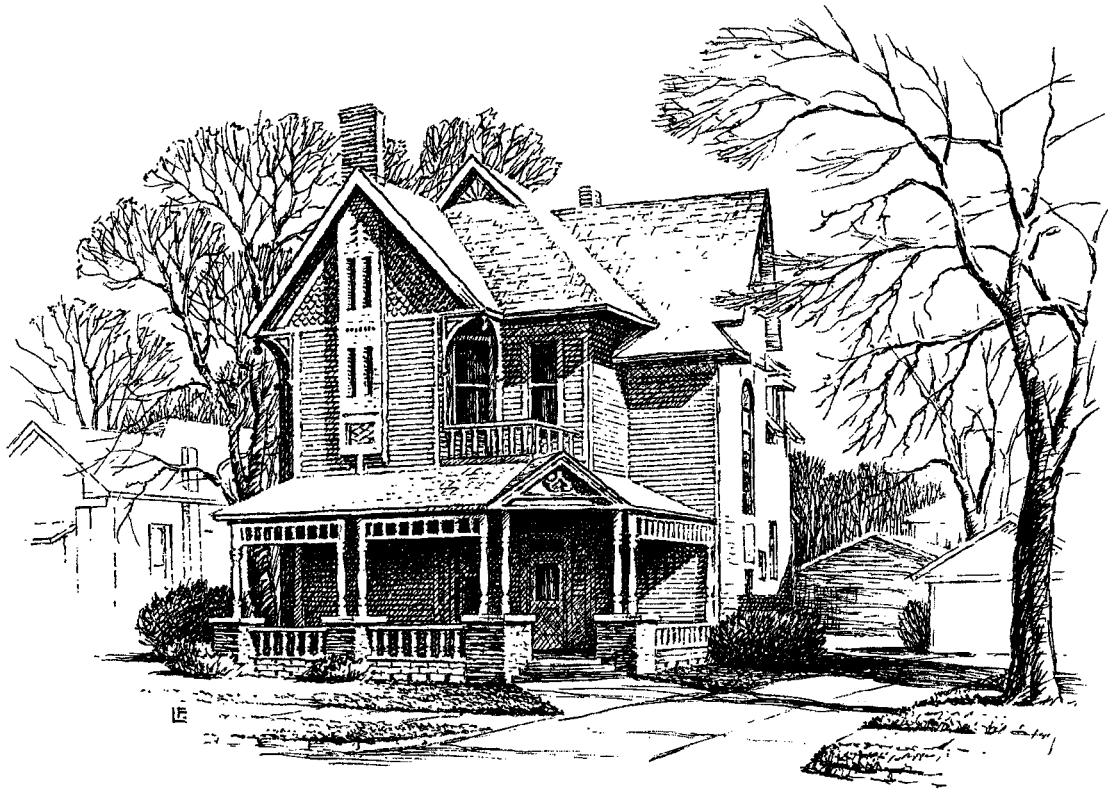
There are 32 contributing structures in the district, and five non-contributing, for a total of 37 structures. Structures built in the district again represent the three periods of architecture and construction: the boom period of the late 1880s; the Craftsman and Prairie periods through the 1920s; and the post-1940s Minimal Traditional period of construction. The district also contains examples of Revival-style architecture, combined with two examples of Spanish Colonial Revival architecture.

### **ARCHITECTURAL STYLES**

There are nine contributing architectural styles found in the Bitting Historic District:

<b><u>STYLE</u></b>	<b><u>#</u></b>
Queen Anne	7
Folk Victorian	1
National Folk	6
Neoclassical Revival	2
Craftsman & Bungalow	7
Colonial Revival	4
Dutch Colonial Revival	2
Spanish Colonial Revival	2
Minimal Traditional	1
<b>Total</b>	<b>32</b>

The Queen Anne, Folk Victorian, National Folk and Neoclassical Revival styles constitute 50 percent of the houses constructed in the district, while Craftsman homes amount to 22 percent. The Colonial, Dutch Colonial, and Spanish Colonial Revival constitute 28 percent.



1218 Bitting

Built in 1886



Part of the Topeka/Emporia Historic District ordinance adopted by the City of Wichita in September 1977, the North Topeka Avenue-10<sup>th</sup> Street Historic District was added to the Register of Historic Kansas Places in 1982, and to the National Register of Historic Places in 1983. A map of this district can be found on the Topeka/Emporia district map.

There are four contributing structures in the district, and one non-contributing, for a total of five structures. All four contributing structures in the area represent the Queen Anne architectural style. The North Topeka-10<sup>th</sup> Street Historic District was recognized for its architectural significance as the only remaining cluster of late 19<sup>th</sup> century houses showing the former residential character of what was once known as the "Pioneer Neighborhood" in the 800, 900, 1000 and the south part of the 1100 blocks of North Topeka Avenue.



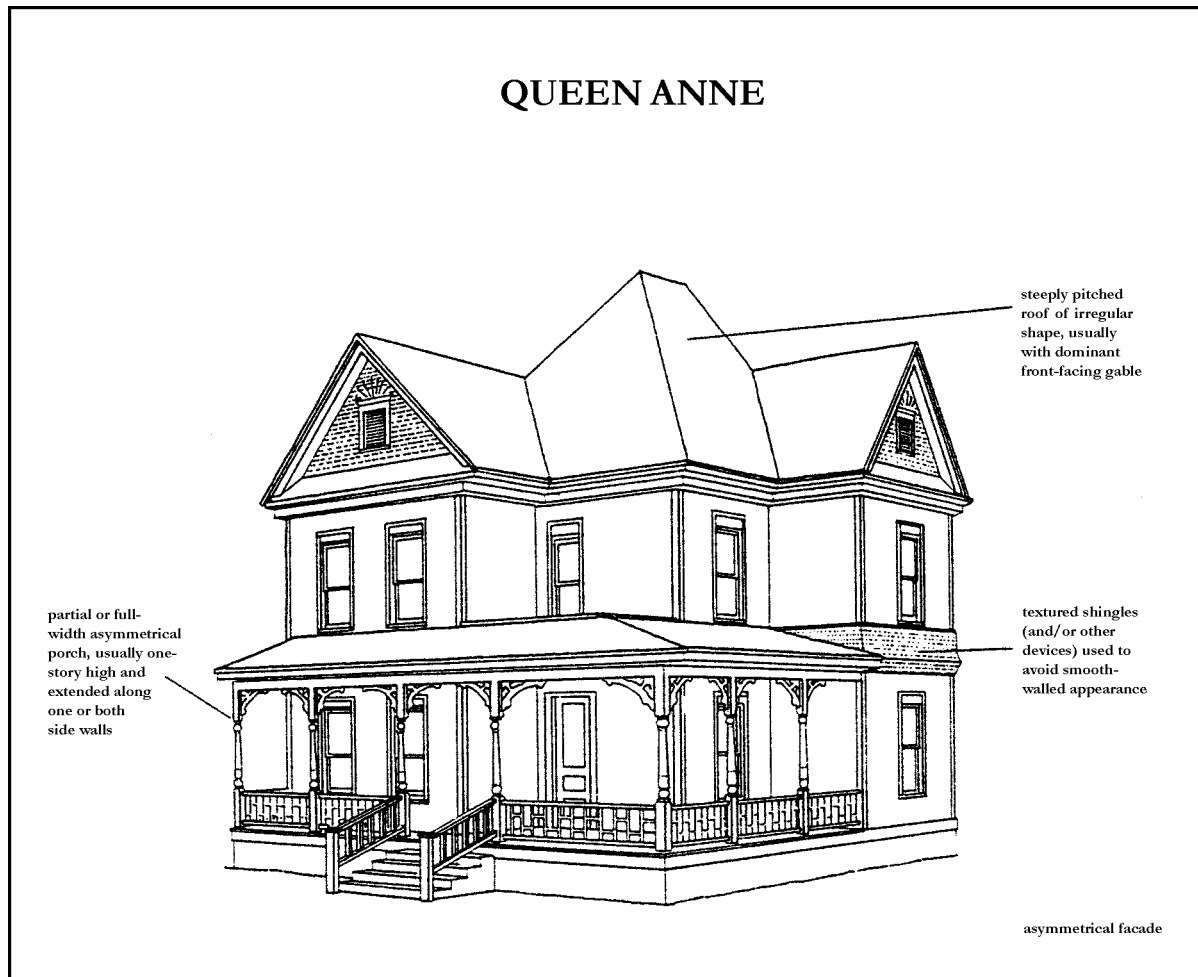
## ARCHITECTURAL STYLES

Before deciding on any alterations or additions to your home or structure, you should first identify its basic style. Wichita housing styles vary widely from the simplest wood or brick cottage to the most elaborate Queen Anne high-styled homes. Each style, no matter how modest, has important features which define its character. These include:

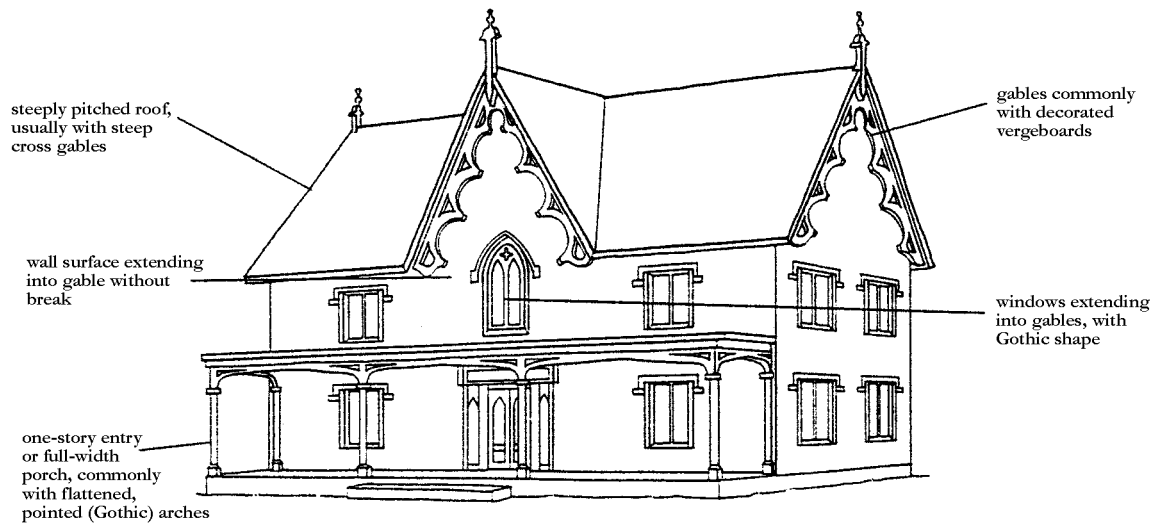
- the building materials, whether wood, masonry or metal;
- the entrance, with the front stairs, porch, and front door;
- the windows and decorative trim around them;
- the top of the building with its cornice and roof lines.

It is the sum of these small details that gives each house its special character and beauty.

Use the following examples from Virginia and Lee McAlester's *Field Guide to American Houses* to identify your structure. Note what features contribute to each style.

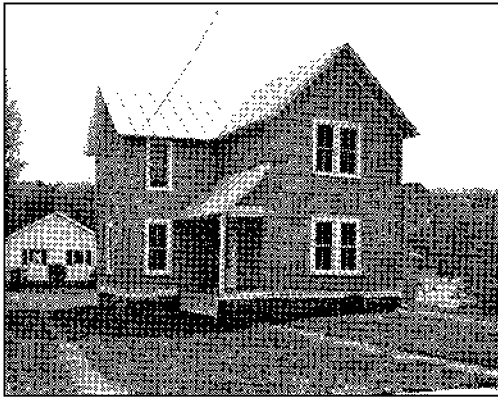


## GOTHIC REVIVAL



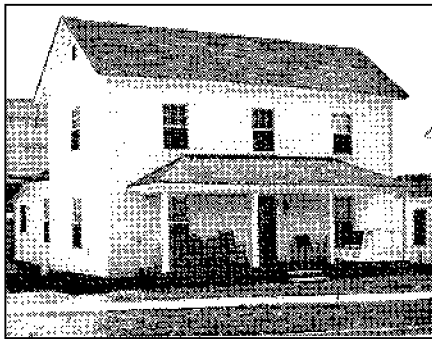
## FOLK VICTORIAN





## NATIONAL FOLK

GABLE - FRONT - & - WING

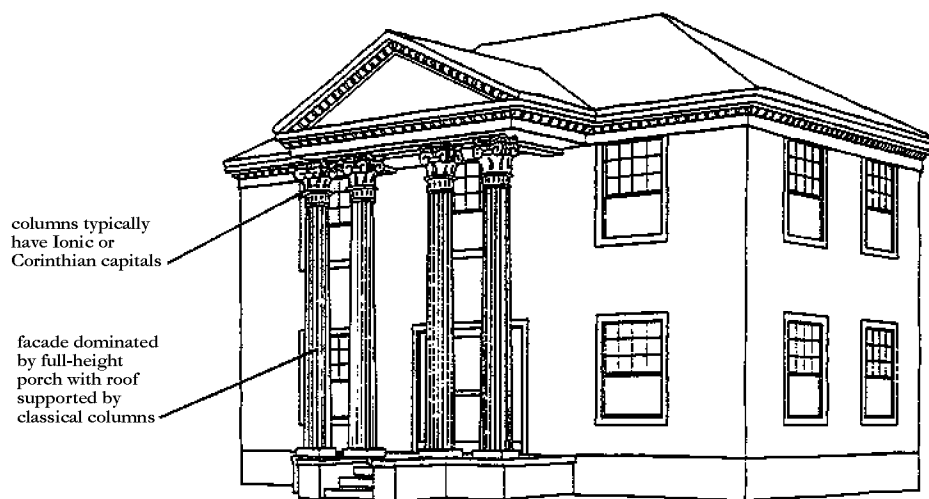


I - HOUSE



PYRAMIDAL

## NEOCLASSICAL REVIVAL



facade with symmetrically balanced windows and center door

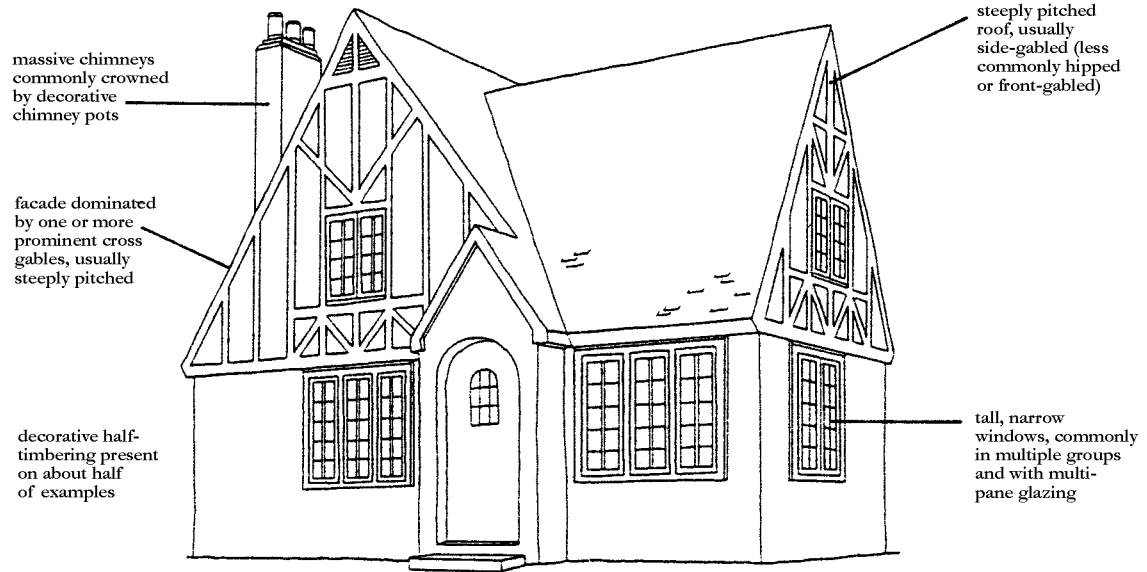
## CRAFTSMAN



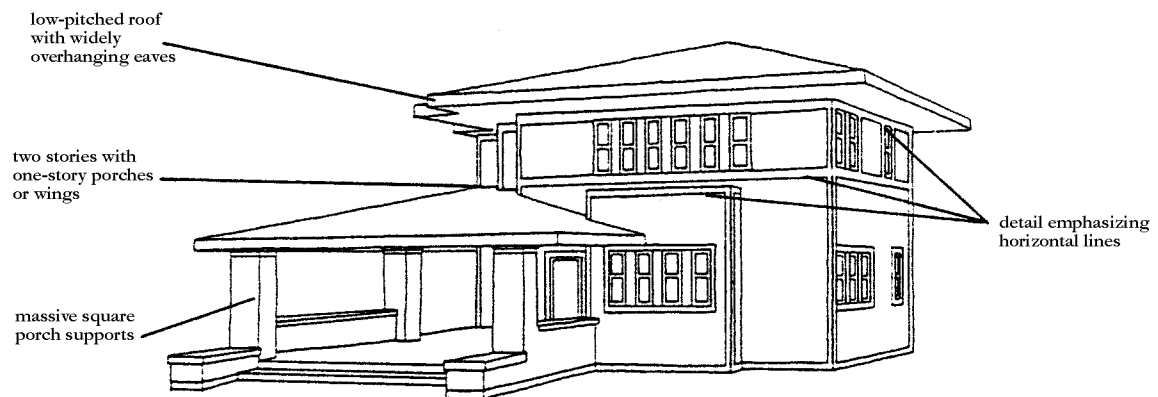
## COLONIAL REVIVAL



## TUDOR REVIVAL




## PRAIRIE



Over the past few years, the City of Wichita has completed Historic Reconnaissance Surveys on most of the Midtown area, including the four residential historic districts. Information on the following survey form is available through the City's Historic Preservation Office on any structure located in a residential district.

Historic Preservation Department  
Kansas State Historical Society  
120 West 10th Street  
Topeka, KS 66612-1291

## KANSAS HISTORIC RESOURCES INVENTORY

1a. Property name, historic (050)  b. Property name, common		13. KSHS Inventory Code (054)	
2. Property address/descriptive location (062)  1212 N. TOPEKA WICHITA, KANSAS		14. County (064) SEDGWICK	15. Survey sequence no.
3. Legal description (070)  N. 50 FT. RES A & S 1/2 LOT 266 TOPEKA AVE. STANCER & HODSON ADDITION		16. Accessibility <input type="checkbox"/> open to public <input checked="" type="checkbox"/> accessible by permission only <input type="checkbox"/> inaccessible	17. Visibility from public road or street <input checked="" type="checkbox"/> good <input type="checkbox"/> poor <input type="checkbox"/> not visible
4. Original use RESIDENCE	5. Present use (208) RESIDENCE	18. Condition (084) <input checked="" type="checkbox"/> excellent <input type="checkbox"/> good <input type="checkbox"/> fair <input type="checkbox"/> deteriorated <input type="checkbox"/> ruins <input type="checkbox"/> no visible remains <input type="checkbox"/> incorporated into later structure	
6. Other uses	7. Original owner or occupant J. ARCH BUTTS	19. USGS quadrangle map if required (see instructions)	
8. Date of construction (301) <input checked="" type="checkbox"/> estimated 1909 <input type="checkbox"/> documented	9. Changes _____ dates _____ <input type="checkbox"/> moved <input type="checkbox"/> major alterations	20. UTM reference if required (see instructions)	
10. Architect (300)	11. Builder contractor	21. Current owner's name and address (096,097)	
12. Identify any outbuildings and/or other structures associated with this building or structure. (Attach an additional inventory form for each one that has particular architectural or historical interest.)		22. Tenant's name, and address if different from property address (see instructions)	
		23. Principal material(s) (216) WOOD	
		24. Style and/or form type (210) NEO CLASSICAL RECTANGLE HIP ROOF	
		THIS SECTION FOR KSHS USE ONLY	
		25. Category (060)	
		26. Functional type (202)	
		27. Registration status and dates (078) <input type="checkbox"/> NHL <input type="checkbox"/> listed NR <input type="checkbox"/> approved for NR <input type="checkbox"/> federal DOE <input type="checkbox"/> listed SR <input type="checkbox"/> local landmark <input type="checkbox"/> HABS HAER	
		28. Is this property included in a historic district? <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> proposed <input type="checkbox"/> NR district <input type="checkbox"/> SR district <input type="checkbox"/> local district Name of district (080) _____ _____ <input type="checkbox"/> contributing <input type="checkbox"/> noncontributing	

## **SOME PRESERVATION THEORY**

Historic Preservation is very often the opposite of expensive remodeling. The preservationist's philosophy is to keep as much of the original materials of a building as possible through regular maintenance and limited repair so as to eliminate the need for costly future replacements.

This can be done by:

1. Maintaining property regularly. The least expensive preservation solution is regular maintenance, so that replacement is unnecessary. Paint, tuckpoint, and re-roof as needed. Make regular exterior inspections to determine if other repairs are needed.
2. Repair, rather than replace. Many times only a small part of a building element is worn out. Replace only the part that needs it and keep most of the original. For example – replace only a window sash, not the whole window.
3. If you must replace, replace with like materials, keeping the same form, shape, and color.
4. Do not remove decorative ornaments or cornices, whether wood or stone, metal or other materials.
5. If your house or structure has inappropriate new additions, try to remove them as your budget allows and restore the original or compatible replacements. Recreate missing original features using original designs and materials as available, or reasonable substitutes.
6. Respect the original design character of the building – analyze the building to determine which elements are essential to its character. Don't try to make a building look older or younger in style than it really is. Adding "historic" details that were not in fact used in the districts, or "modernizing" a building are equally damaging to the original character of historic buildings. For example, adding fancy bric-a-brac to a Craftsman bungalow is inappropriate, because these decorations were only used on a few of the larger Queen Anne-style houses in the districts. Similarly, cutting picture windows out of walls, or replacing turned wooden posts with wrought iron are modernizations that will substantially alter the character of the building.
7. New uses that require the least change to existing structures are encouraged. Every reasonable effort should be made to provide a use for the building that will require minimal alterations to the building and its site.
8. Preserve roofs at their original pitch, and preserve the character of original roofing materials whenever possible.



## HOW THE REVIEW PROCESS WORKS

In 1974, the City Commission established the Historic Landmarks Commission to administer Wichita's historic preservation program. At the same time, the Commission was given the responsibility to review all building permits relating to designated landmarks and to structures within historic districts. The City Commission is now the City Council, and the Historic Preservation Board now administers the preservation program, but the same basic system of review remains in place.

Any building project which will require a permit (excepting most electrical and plumbing projects) will also require a "Certificate of Appropriateness" from the Historic Preservation Office in the Metropolitan Area Planning Department. "Minor" projects can be approved by staff, but "Major" projects are reviewed by the Historic Preservation Board at their monthly meetings. Meetings are held on the second Monday of each month, and applications must be submitted at least eleven days in advance. The Design Review Committee of the Historic Preservation Board will meet with applicants if requested, and is available to provide advice on design questions. Call the Preservation Planner to make arrangements.

The Park Place/Fairview, Bitting, and Topeka/Emporia Historic Districts are all listed in the Wichita Register of Historic Places, our local register.

While the Topeka/Emporia Historic District is locally designated, associated with it is the North Topeka Avenue-10<sup>th</sup> Street Historic District, which is listed on the National Register of Historic Places. Therefore, besides requiring local review by the City's Historic Preservation Board, modifications made to these buildings must also be reviewed by the State Historic Preservation Officer (SHPO) to assure compliance with the Secretary of the Interior's Standards for Rehabilitation. In addition, the State reviews modifications to the "environs" of listed structures, which is defined by State law as being within 500 feet. Therefore, repairs and changes within that radius of the North Topeka Avenue-10<sup>th</sup> Street Historic District must also be reviewed by the State Historic Preservation Office.

If you are contemplating a project, here are some of the first questions you will need to answer.

- Is the structure located within a historic district? If it is within the historic district boundaries (see map), it is subject to design approval.
- Is the work to be done subject to review? Any exterior modifications to existing buildings that require a building, roofing, siding, sign, demolition, moving, parking lot, location or swimming pool permit, as well as any new construction, must be reviewed.
- "Minor" alterations include reproofs, foundation or other repairs.
- "Major" alterations, such as new additions, residing, new construction, or demolitions. Most successful regulations require that demolition requests include future plans for the

site in order to prevent vacant lots or parking lots from destroying the continuity of a historic district.

The following activities may be done without further review:

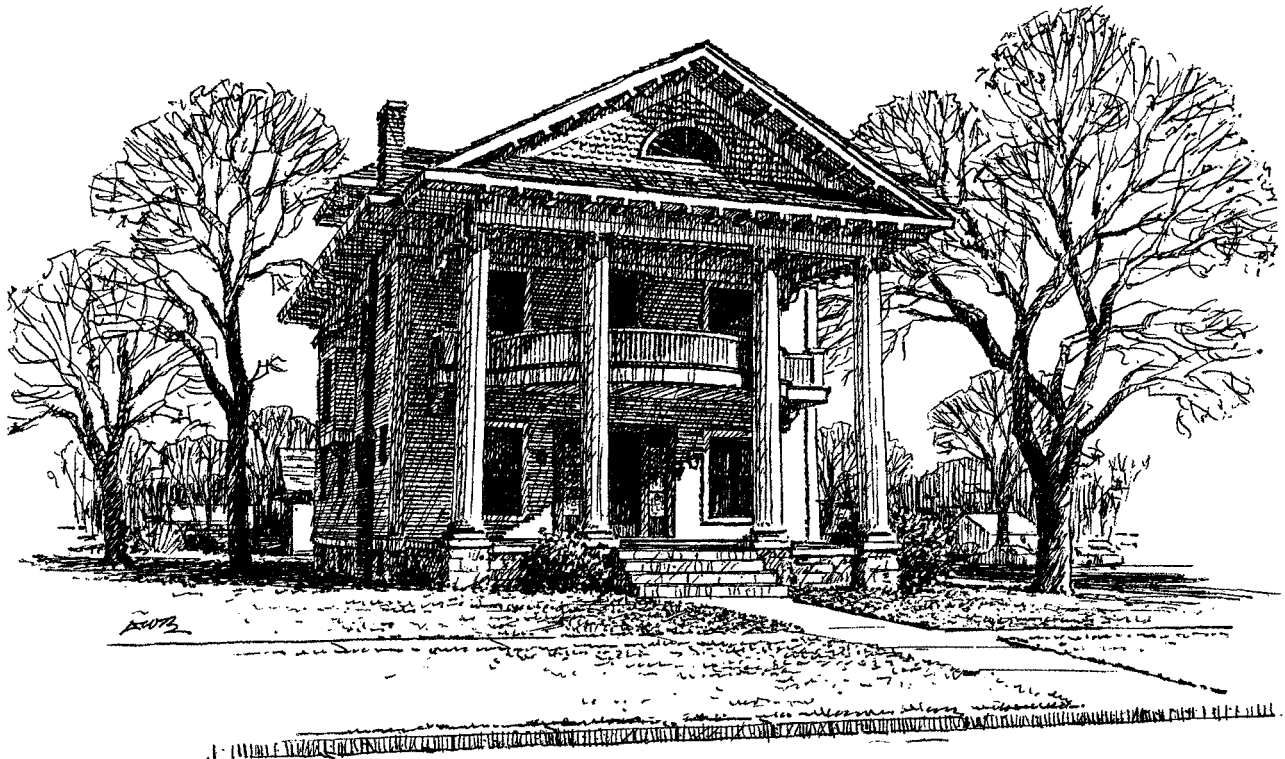
Repainting;

Repairs that do not require a permit and are not covered in these guidelines (if unsure, consult Preservation Planner);

Interior design changes require only review by Central Inspection, unless your structure is listed on the local, state, and national registers;

Landscaping need only be in compliance with the City's Landscaping Ordinance.

Additionally, there may be sections of the City's Building Code that apply to your project. In no way should these guidelines be considered a substitute Code, nor does a structure's presence within the districts absolve the owner from compliance with Codes adopted by the Office of Central Inspection. **BUILDING PERMITS MUST BE OBTAINED!**



## OTHER REGULATIONS

Remember that the guidelines supplement other Wichita City Ordinances. Other ordinances that may influence the project are:

### Landscape Ordinance.

The Landscape Ordinance provides standards for the maintenance, types and arrangement of plantings in the City, under specific circumstances. Although the ordinance does not apply to single-family or duplex uses, landscaping in the districts should enhance the structure and surroundings, and should not obscure significant views of or from the main building.

### Zoning Code.

The Zoning Code defines set-backs and outlines appropriate uses for various properties throughout the City. A historic district itself is an “overlay” zone, which imposes the Historic Preservation Ordinance on properties within the district in addition to other zoning regulations.

### Building Code.

The Office of Central Inspection and the Fire Department have agreed to use the Universal Code for Building Conservation (UCBC) within the districts, but only when dealing with contributing structures. In all other cases, and for new additions or other construction, the Uniform Building Code (UBC) will apply. Specific questions may be addressed to the Office of Central Inspection, at 268-4461, or to the Fire Prevention Office at 268-4441.

### Tax Incentives.

The Topeka-Tenth Street National Historic District (the properties at 1065 through 1113 North Topeka) is listed on the National Register of Historic Places. Income-producing properties may be eligible for income tax benefits under federal tax laws. In order to be eligible, projects must meet certain criteria, such as compliance with the Secretary of the Interior’s Standards for Rehabilitation, and undergo additional reviews by the State Historic Preservation Officer in Topeka. For more information on tax credits, you may call the Kansas State Historical Society, (913) 272-8681.

### Low Interest Loans

The City of Wichita’s Revolving Loan Program for Historic Properties provides low-interest loans to encourage the preservation and rehabilitation of historically and architecturally significant structures in Wichita. Properties designated and listed as historic landmarks, or as contributing structures in a residential historic district may apply for the loans.

**FAILURE TO FILE A CERTIFICATE OF APPROPRIATENESS APPLICATION, AND/OR TO OBTAIN APPROPRIATE PERMITS, MAY RESULT IN AN INVESTIGATION BY THE OFFICE OF CENTRAL INSPECTION AND ULTIMATELY, THE ISSUANCE OF A UNIFORM CRIMINAL COMPLAINT.**

Whether renovating an historic structure or building something new, a good place to begin your project is to establish the limitations you should place on the design in response to historic preservation goals. Remember, these guidelines are not intended to take the place of professional design assistance (which is often recommended), but rather, to assist the owner and designer in creating the best project.

## **GUIDELINES FOR NEW CONSTRUCTION**

Moving period buildings onto vacant space within a district will normally be preferred to new construction. The Historic Preservation Board, on the advice of the Design Review Committee, will advise applicants as to appropriate styles and orientations of structures that are new to a district, whether the structures are moved in or newly constructed. The intention is never to create the myth that a building is original to the district if it is not, but that its scale and stylistic aspects will be carefully considered. Similarly, an older structure that is newly moved in may well be similar enough to pre-existing buildings, in terms of design elements, so as to be considered a Contributing structure within the district.

The National Trust for Historic Preservation, the only private preservation organization chartered by Congress, also discourages historic imitations in its policies (which guide the Historic Preservation Board) and promotes compatible new architecture. Following these policies, the majority of communities nationwide which have guidelines for historic districts encourage compatible new designs. (NOTE: 1108 N. Topeka is an example of acceptable infill construction within a National Historic District.)

### **WHEN PLANNING NEW CONSTRUCTION, ANALYZE THE SETTING FOR THE NEW BUILDING.**

Look at the siting and mass of the other buildings in the neighborhood.

Notice setbacks heights, parking arrangements and building shapes. Examine how other buildings have adapted to natural features such as drainage and vegetation.

Observe the building forms and materials of surrounding buildings. Be aware of the elements that are repeated nearby, such as certain roof pitches, window shapes, siding and window trim which have traditionally been used.



1542 Fairview Built in 1889 by Elizabeth Orr

Produced by  oblique-smith corporation in cooperation with the Wichita Urban Renewal Agency

## CHOOSING A STYLE

Wherever possible, new additions or alterations to buildings should not obscure or confuse the essential form and character of the original building. Avoid new additions or alterations that would hinder the ability to interpret the design character of the historic period of the district. Alterations that seek to imply an earlier period than that of the building are inappropriate. Alterations that seek to imply an inaccurate variation on the historic style are also inappropriate.

Attention to elements encourages the design of buildings that clearly are new, yet do not disrupt the continuity of the historic district. These elements are:

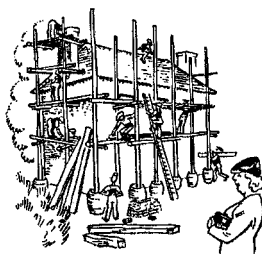
- 1) building height
- 2) scale
- 3) orientation, space, and site coverage of buildings
- 4) façade proportions and window patterns
- 5) size, shape, and proportions of entrances and porches
- 6) projections
- 7) materials, textures, and color
- 8) roof forms
- 9) horizontal, vertical, or nondirectional emphasis
- 10) walls and fences

New construction, additions to historic structures, accessory buildings, porches, and balconies must be of appropriate massing, roof form, shape, materials, detailing, color, and must have window patterns that are typical of the historic structure. Major additions to structures, or the construction of new accessory buildings should be added to the rear of the property to preserve the most important view of your house from the front. Avoid impacts to special moldings, decorative windows or dormers. Use the same exterior materials on the addition as the rest of the house. Keep the same roof lines.

Align the façade of the new building with the established set-backs of the area.

On entrances – orient the main entrance of the building in a manner similar to established patterns in the district. If porches are typical, use similar elements to define entrances to new buildings.

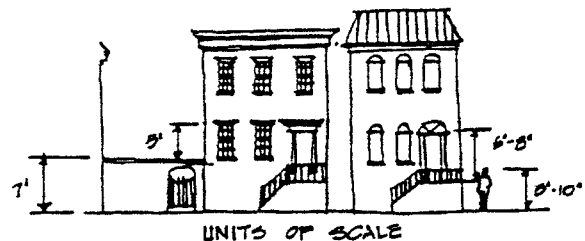
*Changing the past*



## BUILDING DESIGN

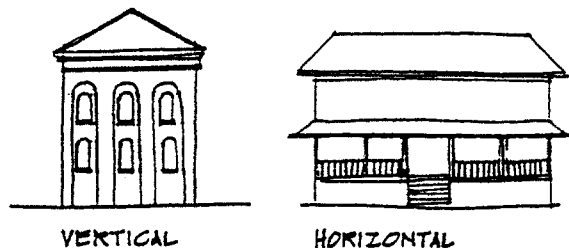
### 1. *Scale and Proportion*

The height, width and general proportions of a building should conform generally with the other buildings in the district. The ratio of wall surface to openings, and the ratio of the width and height of windows and doors, should also be consistent with the district.



### 2. *Vertical and Horizontal Emphasis*

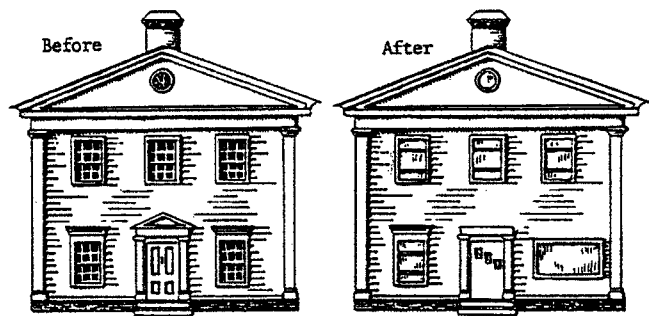
The vertical and horizontal appearance of a structure is created by its proportions, scale and openings for doors and windows. Buildings should be of vertical or nondirectional appearance, so that horizontal lines are minimized.



### 3. *Windows and Doors*

The pattern of placement, proportions, and materials of windows and doors will be considered. Metal or plastic window frames are unacceptable. Glass and glazing must match historic materials as much as practical. Dark tinted, reflective glazing, reflective film, wood, or plexiglass is not permitted. Decorative ironwork or burglar bars are permitted

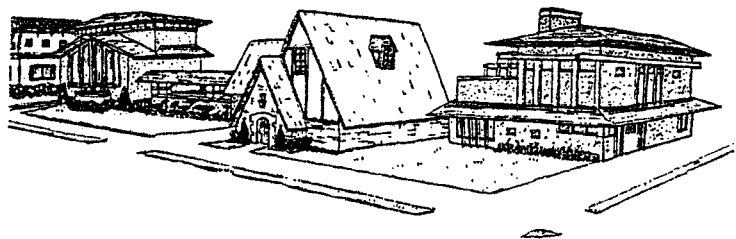
on rear facades. Interior mounted burglar bars are permitted on protected facades. Shutters should be sized to match windows. Screens and storm windows should be as inconspicuous as possible. Raw metal combination storm windows or doors, and plastic contemporary coverings, are unacceptable.



### 4. *Roof Form*

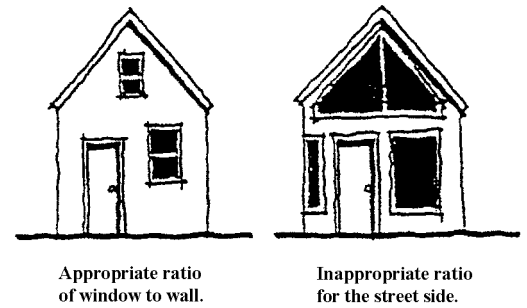
The slope, massing, configuration and materials of the roof must be preserved and maintained. Original gables, dormers, porches, and roofs must be preserved. Existing parapets, cornices and coping eaves,

roof trim and dormers must be retained and when repaired, should be done so with materials matching in size, finish, and color. The design line created by the shape of the roof shall constitute the roof form, and existing characteristics (i.e.: shape, pitch, materials) should be retained in both reconstruction projects and in new construction. In general, low gable, shed-vaulted, domed, free-form, A-frame and geometric roof shapes will be deemed inappropriate. Shed roofs may be used for small additions. All roofs should have overhangs that are appropriate for the style of the building.



### 5. Architectural Details and Features

Balconies, decks, covered porches, decorative shingles, bracketed eaves, columns, balustrades, towers, turrets, skylights and arches are among the details to be considered. All features and details should be in proportion with the building. The use of historic details on contemporary structures should only be included where they are appropriate to the building design.



### 6. Minor Additions

Additions to buildings in the district should respect their environments and the structures to which they are attached. They should be of complementary and subservient design, so as to make a positive contribution to the district as a whole.



### 7. Accessory buildings

Accessory buildings as new construction are permitted only in the rear yard. Accessory buildings must be compatible with the scale, shape, roof form, materials, detailing, and color of the main building. They must be constructed at least 6 feet from the main building.

## MATERIALS

### 1. Wall Materials

The use of natural materials is strongly recommended. Imitation or synthetic materials such as aluminum or vinyl siding, will be deemed inappropriate. Wood siding, trim, and detailing must be carefully restored wherever possible. Historic materials should be repaired; they may be replaced only when necessary. Badly deteriorated paint should be removed in accordance with the Department of Interior standards prior to refinishing. All exposed wood must be painted, stained, or otherwise protected. No resurfacing with vinyl or aluminum siding or stucco is permitted on main structures. Imitation materials are allowed on accessory structures only if they are in keeping with the style and materials on the main structure.

### 2. Façade materials

The front and side facades are protected facades. The only permitted façade materials are brick, wood siding, and stucco. Cut stone is only permitted as a foundation material. All façade treatments and materials must be typical of the style and period of the main building. Processed wood treatments are not permitted as a façade material.

### 3. Roof Materials

The following roofing materials are allowed: wood shingles, composition shingles, slate, clay, terra-cotta tiles, and other materials deemed appropriate. Roll roofing, built-up tar and gravel, or plastic roofing materials are not usually appropriate. On flat roofs that are not visible from public

areas, or in cases in which the materials can be demonstrated to have been historically used on that roof, other materials may be considered.

### **SUGGESTED GUIDELINES**

- Keep the bulk and height of the addition in scale with the rest of the building.
- As far as possible, use the same covering material and the same roof trim as the original building. (NOTE: The building code may require the use of non-combustible materials.)
- Keep door and window openings similar in scale, pattern, placement and proportions to the original ones, except that a larger glassed opening may be inserted if it is invisible from the street.
- Add dormers if similar in form and scale to those appropriate to the original style of the building, and only if they are invisible from any street and do not extend above the crest of the roof.

### **UNSATISFACTORY APPROACHES**

- An addition which, by its size, overwhelms an old building, or extends above it.
- Raising a roof, breaking the crest line of a roof or adding a story or penthouse.
- Additions to the street front, other than open porches that replace missing porches.
- Use of a dissimilar material or building form where not absolutely necessary.
- Use of an altered rhythm of openings on facades visible from the street.
- Blocking the light of any adjacent building.

### **GENERAL RENOVATION GUIDELINES**

In general, the existing original and historic structures of the districts must be retained and protected, including out buildings such as garages and carriage houses.

#### **THE BUILDING**

##### *Basic Points*

There are several basic points to remember when working on any historic building. These points should define a base-line and set a priority for repairs and improvements, thereby giving the owner a plan with specific goals for the property. Cyclical maintenance is vital to the retention of older (or any other) buildings, and the owner should have a systematic program of regular repairs and preventative maintenance. By having a schedule laid out for several years, the property owner



is better able to budget money and time for the necessary work, and so be ready when a particular project comes up.

*“First, do no harm”*

Sometimes, the amount of damage done by well-intended property owners is amazing. Ideally, anything that is done to an historic building should ultimately be reversible. Many times that is not possible, however, and the owner should carefully investigate options before proceeding. Any alterations that seriously damage historic materials, or which would compromise any future restoration efforts, should not be undertaken. Some technical information is available from the Historic Preservation Office on areas of concern, and it will be provided upon request.

*Arrest Deterioration*

The second rule of conservation is to identify and arrest deterioration. Careful examination and identification of deteriorated areas will provide information necessary for a rational decision as to appropriate corrective steps. The Historic Preservation Board is made up of a variety of people, each of whom have areas of expertise in older buildings. Property owners in the districts are encouraged to consult with staff when problems arise, so that this resource can be tapped.

*Define Your Project*

Define the scope of the project. If it is not possible to perform a complete renovation within the budget, set a priority of work tasks. Make improvements as the funds are available to do them correctly the first time. In renovation, it is especially important to complete tasks fully and correctly. As you begin one project, you may be tempted to start another. However, it is strongly recommended to finish one project on your historic structure before beginning another.

## CONSIDER THE NEIGHBORS

Changes made in an individual house can disrupt the continuity of a district, so think carefully about any changes to your house. Begin with a close look at other houses in the district that retain their historic character.

1) Identify visual character at close range in order to see all the surface qualities of the materials, such as color, texture, or evidence of craftsmanship or age. Many of the close-up qualities identified at this stage can be easily damaged or obscured by work that affects the surfaces. Examples of this principle could include painting previously unpainted masonry, rotary disk sanding of smooth wood siding to remove paint, abrasive painting of tooled stonework or repointing reddish mortar joints with white Portland cement. There is an almost infinite variety of surface materials, textures and finishes that are part of a building's character, most of which are fragile and easily lost.

2) Identify the visual character of the interior spaces, features and finishes. While generally not subject to the review of the Historic Preservation Board, the importance of interior features and finishes to the character of a building should not be overlooked. While many interior spaces were very elaborate and provided evidence of the owner's influence and taste, many were also quite plain in order to demonstrate the very same qualities. Times and tastes changed during the time when these homes were built, and the interiors reflect those changes as surely as the exteriors.

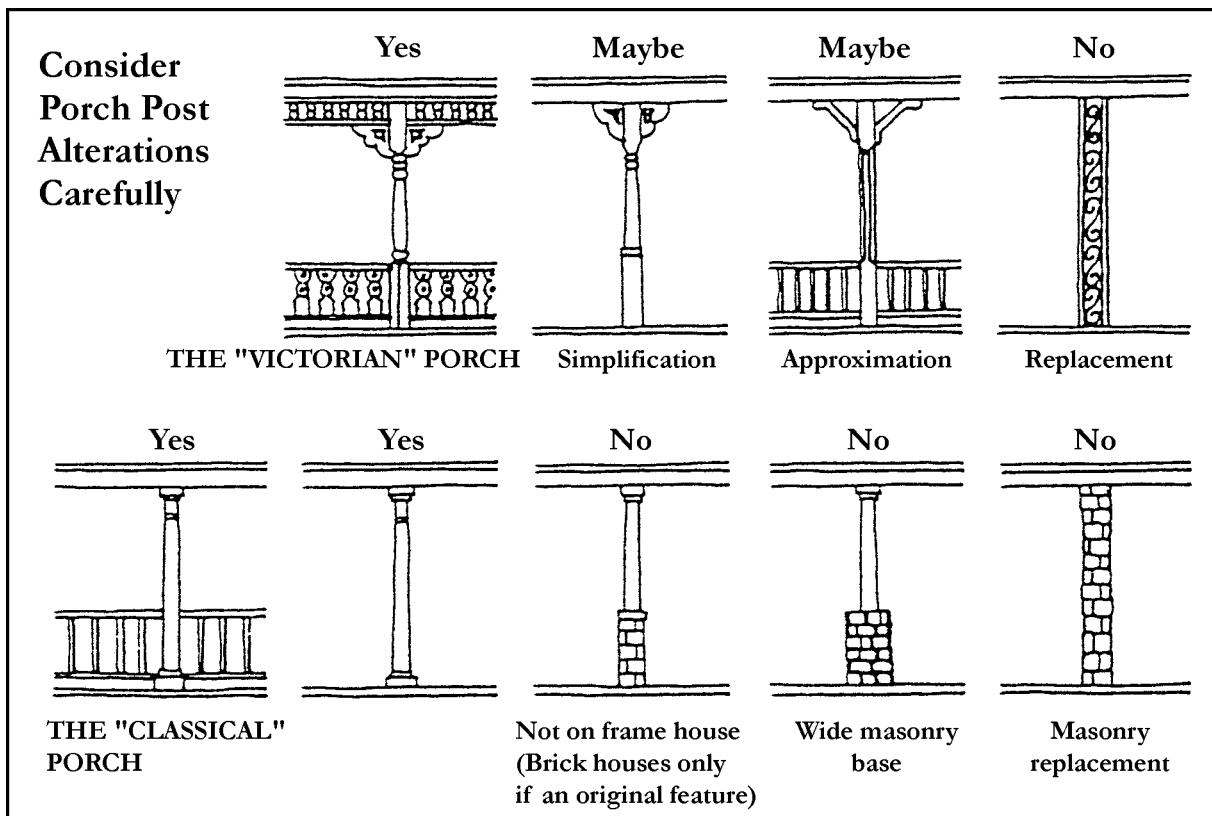
## PORCHES

Porches are the predominant visual element of most houses. Different kind of porches accompany various styles of buildings, but there are few examples of houses without porches. The porch may have a roof supported by free-standing columns, by columns resting on masonry knee wall, or use masonry piers on wooden balustrades. Whatever the method of construction, the porch is open and because of its transparency, the façade of the house is plainly visible.

Porches were often added to older homes to “update” them. A good example of this process is the Pratt-Campbell House at 1313 North Emporia. From the sidewalk, an observer can distinguish that the porch and the main body of the house are of different types of brick. Still, in those cases in which porches have been added long ago, they should be retained and maintained.



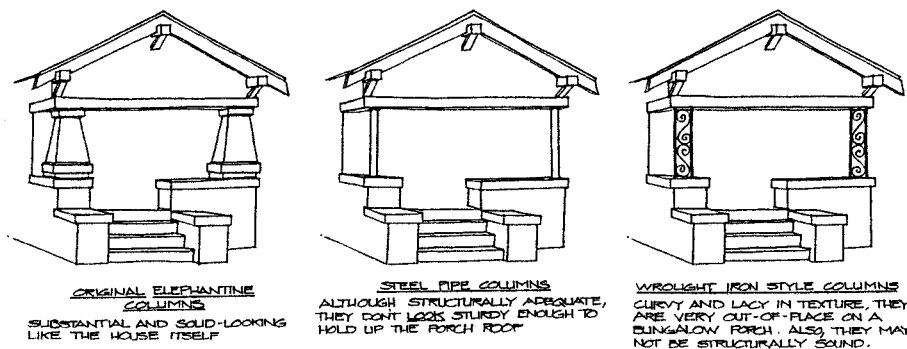
- Existing porches and balconies on protected facades must be retained and preserved. A front entrance or porch may not be enclosed with any material, including iron bars, glass, or mesh screening. Such enclosures have a significant impact on the visual character of both the individual house and the streetscape.
- All original columns, railings and other trim and detailing that are part of the porch or balcony configuration must be preserved.
- It is encouraged that existing enclosed porches on protected facades be restored to their original appearance.
- Front porch floors must be concrete, wood, or other material deemed appropriate. Porch floors may not be covered with carpet. Wood floors must be painted or stained. Concrete, brick, or stone floors may not be painted. A clear sealant is acceptable.



- If an original porch was previously removed, make every effort to replace it with a replacement whose size, design, and materials are sympathetic to the age and character of the house. The original porch design can often be determined by studying houses of a similar architectural style located within your neighborhood.

- When repairing a wood porch, try to use as many of the original pieces as possible. Replacement columns and porch ceilings should be of the same dimension and style as the original. Stone porches should be maintained and repaired in the same manner as stone facades.
- Porch decks are modern expression of porches, but do not have a visual counterpart in historic buildings.
- Decks should be unobtrusive as possible, and should be added to the rear façade of the structure.
- Unpainted redwood is a material of modern use and is inappropriate for use in the districts. Decks should be painted or stained to match the existing building.
- Repair or replace stairs when needed with the same materials as the original, in the same design and proportion.
- Wood stairs must be pitched properly to insure proper drainage. Repair or replace stair railings with the same materials. If detailed trim cannot be duplicated, use new pieces of the same proportions and dimensions.
- Porch stairs should not be replaced with pre-cast steps alone. The use of masonry buttresses accompanying the placement of new steps is encouraged.

#### ELEPHANTINE COLUMNS: DO'S AND DON'TS



## SIDING

A basic characteristic of most of the homes in the districts is the type and proportions of the siding on structures. The width of siding is particularly important for aesthetic and contextual reasons. It is also the skin of the house, and must perform functions aside from keeping the weather outside. A house must breathe in order for rot to be avoided, and a good exterior paint will allow it to do just that. Additionally, the width of siding has varied over time as both tastes and manufacturing methods have changed. Therefore, it is important to maintain the original siding whenever and wherever possible, and to replace it with the same material when absolutely necessary.

- Repair deteriorated sections of clapboard siding with boards of the same width and thickness, and laid in the same direction.
- Do not cover or replace wood siding with modern siding. Remove old asbestos, asphalt, or vinyl siding and repair clapboard as your budget permits. Aluminum or vinyl siding are never recommended. Although when installed it requires less maintenance than wood siding, it will eventually cause damage to the wood underneath by trapping moisture inside. They also tend to lose their finish after some years and may need to be repainted regularly.

## MASONRY WALLS AND CHIMNEYS

Brick and stone are the most common types of masonry found in historic buildings. Brick walls should be cleaned and maintained on a regular basis. Sandblasting or water-blasting to remove paint or grime is not recommended, because it removes the protective glaze on a brick's surface, allowing water to penetrate and destroy the brick.

Maintenance of a brick wall often includes repointing with a lime-mortar mixture. Improper repointing of historic masonry can result in a change in appearance as well as accelerate deterioration of the masonry units. Contact the Preservation Planner for more information on repointing historic bricks or masonry buildings.

Stucco finishes are usually applied to lathwork, and such are a compromise between siding and masonry walls. Properly maintained, stucco provides a secure skin on a house that needs minimal maintenance. Minor cracks can be filled with a mortar of cement, lime and sand, while larger patches require that the old stucco be removed down to the lath, and new stucco applied.

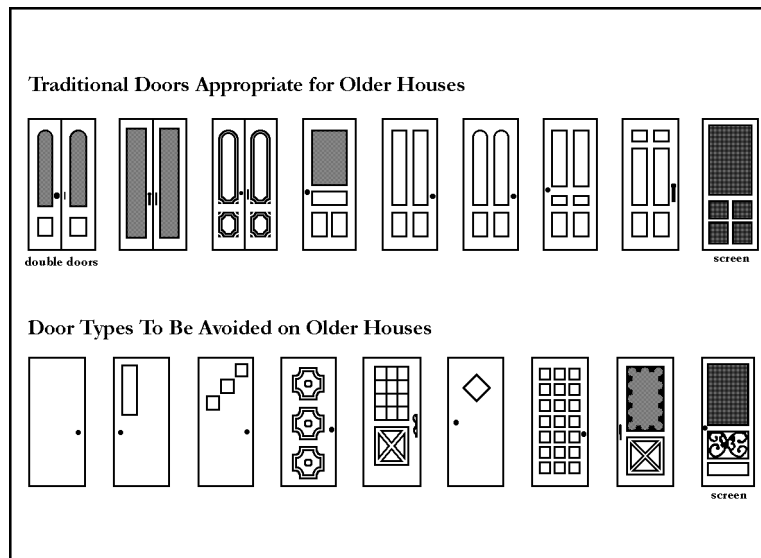
- Do not sandblast brick or stone, or use any other abrasive cleaning treatment.
- Brick or masonry should not be covered with wood, synthetic siding, stucco or permastone.
- Do not patch brick with asphalt, concrete, or other materials.

## WINDOWS AND DOORS

The shapes and sizes of windows and doors often indicate the age of a home, and may be related to other design considerations as well. Many homes in the districts also have stained or leaded glass panels, which require special care. In general, the metal that holds the glass, and the putty that secures it, will deteriorate over time. The glass may be partially protected by protective glazing, but carefully monitoring the glass panels is highly recommended. For more detailed information on stained glass, contact the Historic Preservation Office.

The size and frequency of openings for windows and doors are basic to a house's character. Therefore, they should not be closed off, nor should they be opened in new locations. The main entrance door is particularly noticed, and great care should be used in replacing one, should the need arise.

- Front doors – Retain original front door and hardware. If more secure locks are needed, install a new deadbolt above the original doorknob. If replacement is necessary, use an old door of similar style as the original.
- Modern steel or designer doors are to be avoided.
- Replacement doors and windows must express mullion size, light configuration, and material to match the original doors and windows.
- Replacement of windows and doors which have been altered and no longer match the historic appearance is strongly recommended.
- New door and window openings on the front and cornerside facades are permitted only in locations where there is evidence that original openings have been filled with other material.



## STORM WINDOWS, STORM DOORS AND OTHER ACCESSORIES

Base metal storm windows and doors are out of character with historic properties. They are, however, a necessity for maintaining a comfortable environment inside a home. A number of products are currently available, including anodized products that can be found in a variety of colors. Large, single panes of glass are preferred, although they may be two panes thick (e.g.: Thermopane) to conserve energy. The goal is to opt for solutions that are least noticeable from the street, and don't detract from the visual character of the front door.

Awnings are historically accurate for the districts. Metal and corrugated plastic awnings are only permitted on an accessory building or on the rear façade of a main building. Canvas awnings are recommended on front façade windows.

Shutters may have been original to the older homes in the districts, but if they are reinstalled they should be working shutters, not simply decorative. Naturally, they should cover the entire window to which they are attached, and they should be made of wood and approximately finished for exterior use.

## WINDOWS

The window opening itself should be carefully preserved, it should not be made larger or smaller to accommodate a differently sized window. Every effort should be made to preserve existing windows by repairing deteriorated sashes and frames. If repair is not feasible, and the window must be replaced, match the existing windows as closely as possible. Elements that should be considered are: size, frame material, method of operation, single or double glazing, divided or single panes.

If a window divided into several panes of glass must be replaced, a similar divided window should be used.

- Horizontal sliding windows are not usually appropriate.
- Window frames should be wood, rather than metal or vinyl clad.
- Storm windows should match the existing windows as closely as possible.
- Select storm windows whose number and division of panes is compatible with the inner windows.
- Retain and repair the original wooden sash, and the original doors, transoms and sidelights wherever possible.
- Retain and repair original trim, including decorative cornices, brackets, lintels, pediments and hoods with their columns and moldings.
- Retain and repair any stained glass, covering it with protective glazing if necessary.

## FENCES AND WALLS

Historically appropriate fences are permitted in the front and side yards and must be constructed of one or more of the following materials: wood, stone, brick, cast iron, a combination of those materials, or other materials deemed appropriate. Wrought iron fencing is usually not appropriate.

Historically, the districts' neighborhoods did not contain many fences, and introducing such elements that have no historic documentation is unacceptable. Plant materials are preferred for denoting property lines, and, where fences are documented, replacements should be of wood, iron or stone.

Fences should not exceed four (4) feet in height in the front or side yards, and stone walls should not exceed three (3) feet, in order to maintain visual access across properties. Chain-link or metal fences, concrete block, plastic, fiberglass or plywood fences are not acceptable. Solid (privacy) wood fences are discouraged, except where they are necessary to screen parking or storage. Retaining walls should be made of dry stone or vented stone masonry that will allow proper drainage. Log and railroad ties may be used on a limited basis, provided that a horizontal method of construction is used. Unfaced concrete or concrete block are not appropriate.

- The side of a wooden fence facing a public street must be the finished side.
- The maximum permitted heights for fences is 8 feet for a fence in the rear yard.
- When a section of masonry wall begins to collapse, it must be removed and replaced. When a section of wall is replaced, it should be tied into the remaining sections on either side. Small weep holes in the lower portion of the wall should be provided for drainage, and appropriate review from the Office of Central Inspection is required on all masonry constructions.

#### FOUNDATION WALLS

Exposed foundation walls should be of stone-faced or exposed-aggregate concrete, and should be inconspicuous as possible. In general, the maximum exposure of smooth concrete should be ten (10) inches if feasible.

#### UTILITIES AND EXTERIOR LIGHTING

All utility lines should be placed either in alleys or underground when possible, and entry fixtures located away from high use areas and main entrances, or screened in an appropriate manner (e.g.: landscaping elements). Exterior lighting fixtures should be appropriate to the building and its surroundings in terms of scale, style and intensity of illumination. Low wattage systems are recommended, and the site lighting should be shielded. Necessary security lighting will be considered on an individual, case-by-case basis.

#### TRASH RECEPTACLES

With commercial buildings located in historic districts, trash receptacles must be screened from public view. Residential properties are limited to, on a temporary basis, the placement of commercial-sized trash receptacles in public view.

#### SOLAR ENERGY DEVICES

Where solar energy is to be used as a primary or supplementary source of heat or other energy, solar collection devices should be mounted in a manner that preserves the property's character-defining features. Generally, by locating such devices in places that are not readily visible from the street (such as in the rear 50% of the property), the character of the property can be preserved while accommodating the collecting equipment. Solar collection devices that are not attached to the building should be located only in rear yards. Exposed hardware, frames and piping shall be finished to be nonreflective and consistent with the color scheme of the building.



## ANTENNAS

In general, exterior antennas are discouraged. In any case, they should not extend above the roof line, nor should they be located in the front or side areas of the house or yard. Satellite dishes and communication antennas should be of a mesh design, and should be finished to be nonreflective and consistent with the color scheme of the building (flat black is recommended as being least intrusive, and camouflage patterning is unacceptable).

## OTHER MECHANICAL EQUIPMENT

To minimize the impact of mechanical equipment on the appearance of the building and the community, window air conditioning units or condenser elements should not be located on front facades. Mechanical equipment attached to the side or roof of a building, including heating vents, should be kept as low as possible, and be covered or painted to blend with the background.

- In general, solar panels, skylights, and mechanical equipment must be set back or screened so as not to be visible from ground level on the opposite side of any adjacent right of way.

## SIDEWALKS, PATIOS AND DRIVEWAYS

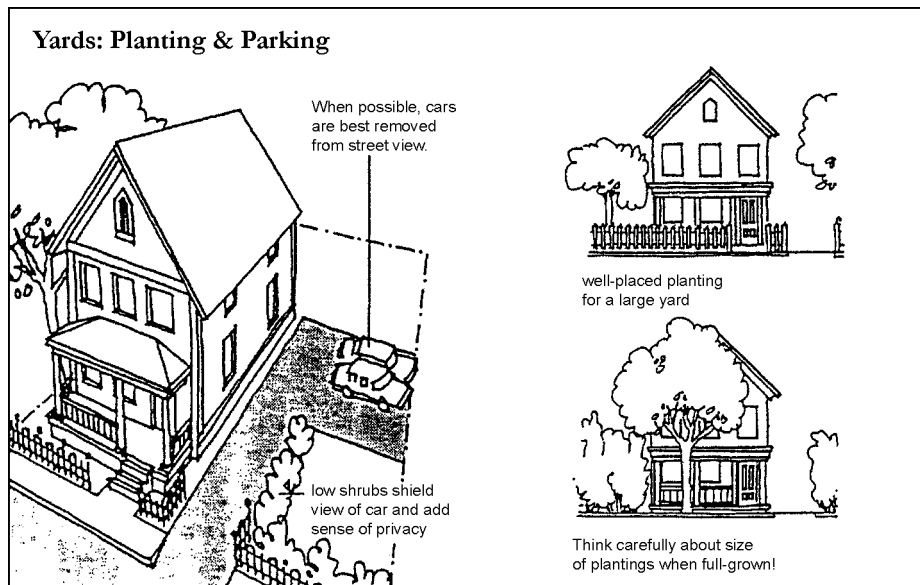
New sidewalks, walkways, steps and driveways must be of brush finish concrete, brick, stone, or other material deemed appropriate. No exposed aggregate, artificial grass, carpet, or asphalt is permitted. No new circular drives or new parking is allowed in front yards.

Where walkways, patios and driveways are necessary, asphalt should be avoided. Concrete, flagstone and standard brick are appropriate for walkways and patios. Aggregate, concrete, gravel or paving bricks are appropriate for driveways.

Driveway – Whenever possible, original driveways should be retained, both in material and in width. The maximum permitted width of a new driveway in the front yard is 10 feet.

## LANDSCAPING

Landscaping elements are transitory, and therefore require some broader degree of interpretation. At the same time, however, they play a fundamental role in defining the character of the districts. Evidence of use and care is important, and a sensitivity to the other properties should be evident. Permanent features, such as large trees, should be retained, and the grounds should be maintained according to City Codes. Property owners are recommended to such period guides as *Victorian Gardens*, by Frank Scott (1870, available at the Public Library as a reprint) and to old photographs. Additional advice and listings of plant species may be obtained from the Historic Preservation Office. In general, verdant and flowering species are recommended, clustered so as to allow long views across lawns.




## WHO TO CALL

Wichita Historic Preservation Office  
10<sup>th</sup> Floor, City Hall, 455 N. Main  
Wichita, Kansas 67202 (316) 268-4421

Wichita Office of Central Inspection  
7<sup>th</sup> Floor, City Hall, 455 N. Main  
Wichita, Kansas 67202  
Permits – (316) 268-4461



1421 Park Place Built in 1889 by I.F. West

Produced by  ohlinger-smith corporation in cooperation with the Wichita Urban Renewal Agency